

# TO LET / MAY SELL

20,000 - 70,346 sq ft (1,858.05 - 6,535.31 sq m)

Well established factory / industrial building

Substantial crange 100 tonne, 25 tonne and 10 tonne

- High eaves of 11m
- 7 cranes - from 10 up to 100 tonne
- Substantial power

Enter



**Units 9, 10 & 10A Vaughan Industrial Estate**  
Vaughan Street, West Gorton, Manchester, M12 5BT

**dh** DAVIES HARRISON  
REAL ESTATE

0161 236 9999  
[www.daviesharrison.com](http://www.daviesharrison.com)

# Units 9, 10, 10A Vaughan Industrial Estate Vaughan Street, West Gorton, Manchester, M12 5BT

HOME

LOCATION

DESCRIPTION

ACCOMMODATION

GALLERY

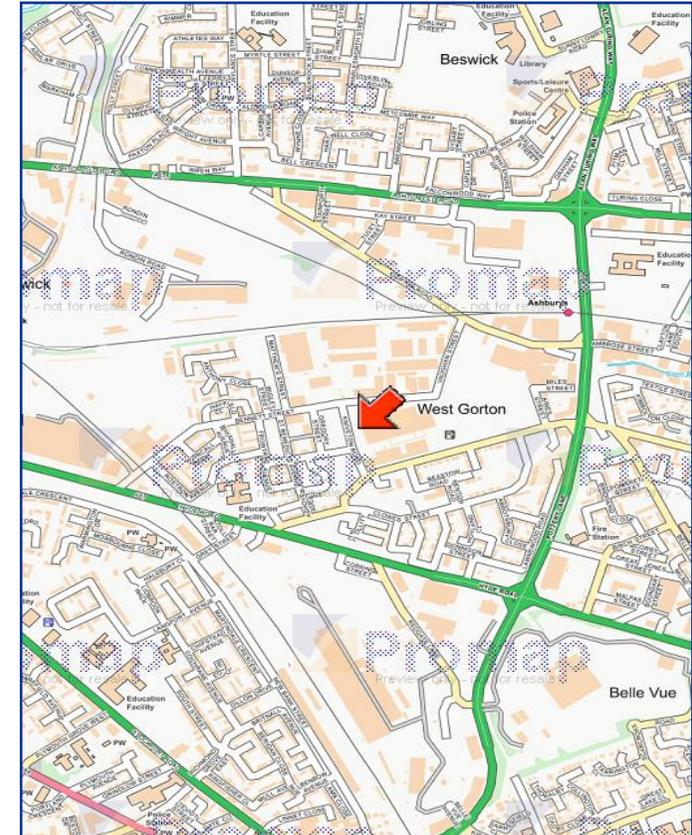
FURTHER  
INFORMATION

## LOCATION

West Gorton is located some 2 miles south-east of Manchester City Centre and is conveniently accessed via the A57 (Hyde Road) and A635 (Ashton Old Road) linking Manchester City Centre to Ashton, Stalybridge and Hyde.

Ardwick Rail Station is close by. In addition the area is in close proximity to the Etihad Stadium, home of Manchester City Football Club and Sports City, as such the area has seen a vast improvement in transport infrastructure and significant regeneration to both commercial and residential.

The property is situated within the established Vaughan Industrial Estate. The A635 and A57 are both located within half a mile north and south respectively, which provide rapid access to Central and Greater Manchester as well as the M60 Motorway and the wider motorway network.



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## DESCRIPTION

The facility comprises a detached industrial / warehouse unit with three bays and two storey office accommodation to the front elevation.

The property has the following specification:

- Concrete floor
- Sodium lighting
- Gas fired warm air blowers
- Eaves height ranging from 7m to 11m
- Three electric roller shutter doors to the front and two to the rear elevations
- Overhead craneage ranging from 10 tonnes up to 100 tonnes
- Tarmacadam yard
- Car parking for 37 cars (possibility of a further 22 car spaces by separate agreement)



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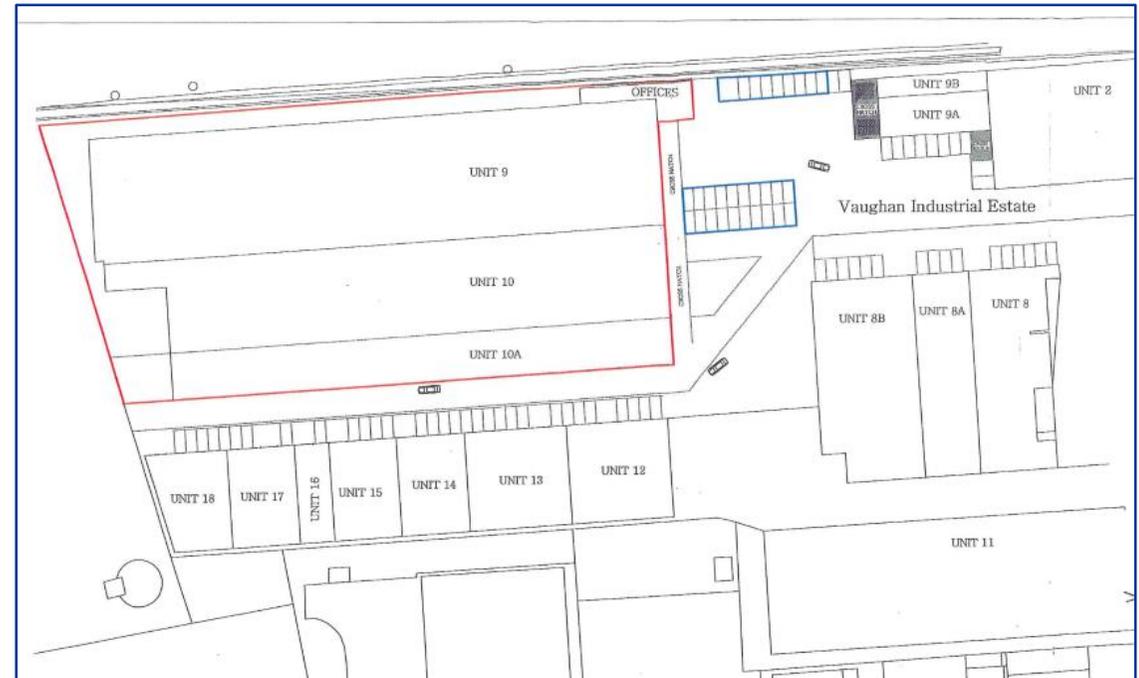
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## ACCOMMODATION

The property has been measured in accordance with the RICS Code of Measuring Practice, 6<sup>th</sup> Edition and comprises the following gross internal floor areas:-

	Sq ft	Sq m
Unit 9	33,137	3,078.50
Unit 10	21,720	2,017.83
Unit 10A	12,372	1,149.38
Offices	3,117	289.60
<b>Total</b>	<b>70,346</b>	<b>6,535.31</b>



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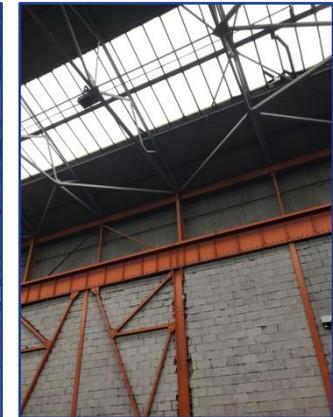
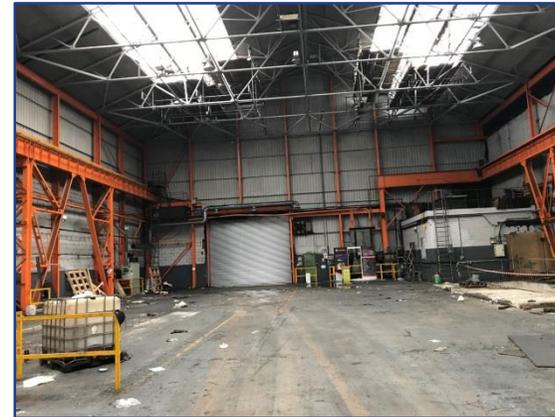
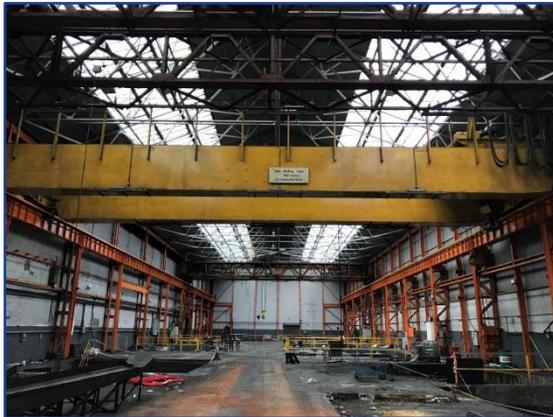
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## Services

We understand all mains services are available to the property including three phase and single phase electricity, gas, mains water and drainage.

## Energy Performance Certificate

An Energy Performance Certificate is available on request.

## Rateable Value

The premises are described as "Factory and Premises" and have a current Rateable Value of £153,000.

## Planning

The property is situated within an established industrial estate. Interested parties should make their own enquiries of the Manchester City Council Planning Department.

## Terms

The premises are available by way of a new full repairing and insuring lease for a term to be agreed. The units can be subdivided. Alternatively a sale of the whole may be considered.

## Rental / Price

Upon application.

## VAT

All prices are exclusive of, but may be liable to, VAT at the prevailing rate.

## Legal Costs

Each party is to be responsible for their own legal costs incurred in this transaction.

## Viewing and All Other Enquiries

For further information, or to arrange a viewing, please contact:

Rick Davies

07831 658804

[rick@daviesharrison.com](mailto:rick@daviesharrison.com)

Harry Fullerton

07555 444385

[harry@daviesharrison.com](mailto:harry@daviesharrison.com)

### IMPORTANT NOTICE

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February 2018

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